



7 Brearcliffe Grove, Wibsey, Bradford, BD6 2LF

**** GUIDE PRICE £230,000 - £240,000 ** SUPERB FAMILY SIZED SEMI DETACHED ** CUL DE SAC LOCATION ****

**** WELL PRESENTED THROUGHOUT ****

Viewing is strongly advised for this well presented SEMI DETACHED property which offers spacious accommodation throughout. Briefly comprising: Entrance hall, lounge, dining/breakfast kitchen leading through to conservatory. TWO BEDROOMS plus STUDY AREA and house bathroom to the first floor with large loft conversion allowing a good size overall bedroom three. Externally, are pleasant gardens to the front and rear with drive leading to garage. Benefitting further from many recent improvements to include replacement windows, doors and boiler (2023). Situated just off Halifax Road in a lovely cul de sac yet being a short distance for travel to Halifax and Bradford.

Guide Price £230,000 - £240,000

T 01274 601119 **E** wibsey@robertwatts.co.uk **W** robertwatts.co.uk
Wibsey Office: 140 High Street, Wibsey, BD6 1JZ

f RWEstateAgents **T** @robertwatts_

arla | propertymark naea | propertymark

7 Brearcliffe Grove, Wibsey, Bradford, BD6 2LF

ENTRANCE HALL

Stairs leading to the first floor

LOUNGE 11'6" x 15'4" (3.5m x 4.67m)

Feature fireplace and French doors leading through to the kitchen

DINING KITCHEN 10'6" x 15' (3.2m x 4.57m)

Modern dining kitchen with a selection of wall and base units finished in white. Worktops and inset sink. Many integrated appliances to include fridge, freezer, dishwasher, wine fridge, oven, hob, extractor, microwave and plumbing for washer. Patio doors lead to conservatory

CONSERVATORY 9'8" x 8'9" (2.95m x 2.67m)

FIRST FLOOR

Landing area

BEDROOM ONE 14' x 9' (4.27m x 2.74m)

Fitted wardrobes

BEDROOM TWO 11' x 9' (3.35m x 2.74m)

STUDY ROOM 6'2" x 7' (1.88m x 2.13m)

Provides access to attic bedroom three

BATHROOM

Modern suite with 'P' shaped bath, shower over and screen. Vanity style sink and W.C

ATTIC BEDROOM THREE 13'7" (4.14) x 11' (3.35) overall

A great addition with Velux windows and under eave store

OUTSIDE

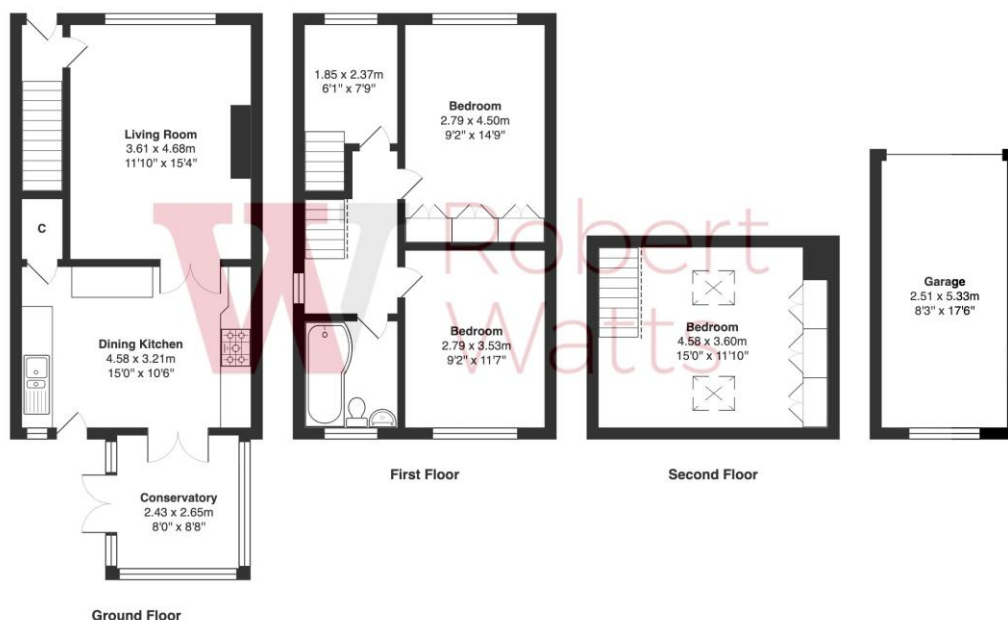
Pleasant gardens to the front with driveway leading to garage. Well tended rear garden with large decked seating area

BUYER DISCLAIMER

Please note if you proceed with an offer on this property, we are obliged to undertake mandatory Anti Money Laundering checks on behalf of HMRC. All estate agents have to do this by law and we outsource this process to our compliance partners Credas who charge a fee for this service.

The Fixtures & Appliances included have not been tested and therefore no guarantee can be given that they are in working order. Every care has been taken with the preparation of these sales particulars, but complete accuracy cannot be guaranteed. If there is any point, which is of particular importance you should obtain independent verification, or we will be pleased to check them for you. These sales particulars do not constitute a contract or part of a contract.





Total Area: 112.1 m² ... 1206 ft²

All measurements are approximate and for display purposes only

Score	Energy rating	Current	Potential
92+	A		
81-91	B		
69-80	C	69 C	76 C
55-68	D		
39-54	E		
21-38	F		
1-20	G		

01274 601119
 wibsey@robertwatts.co.uk
 robertwatts.co.uk
 Wibsey Office: 140 High Street, Wibsey, BD6 1JZ

RWEstateAgents
 @robertwatts_

arla | propertymark
 naea | propertymark